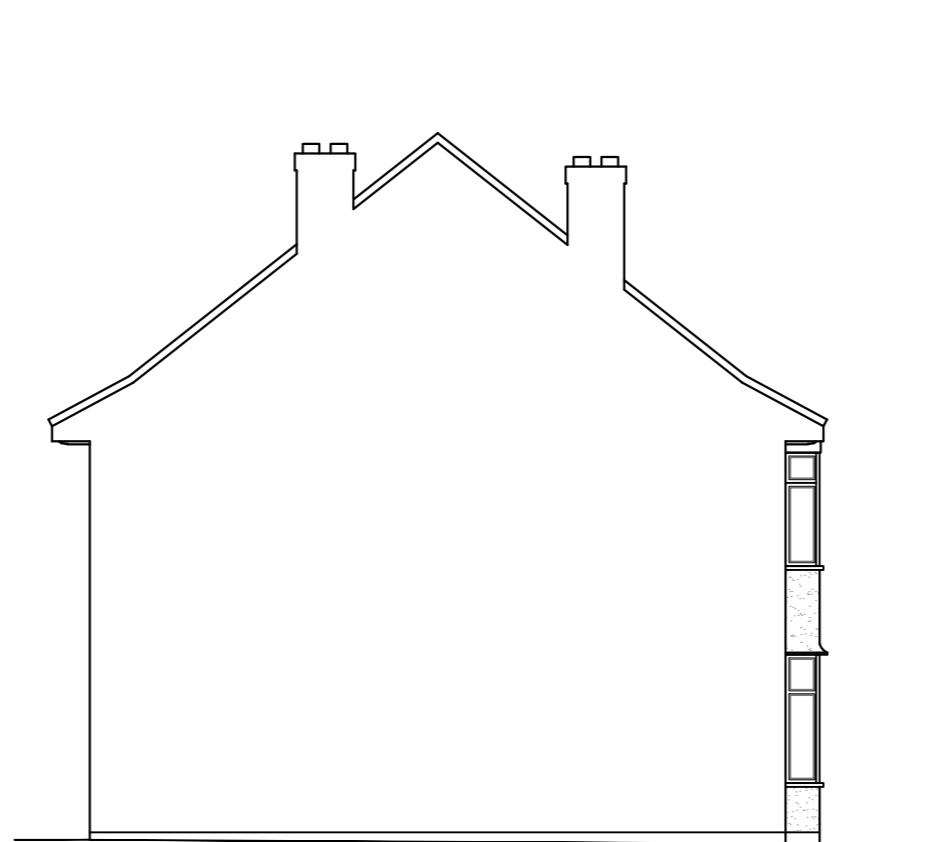
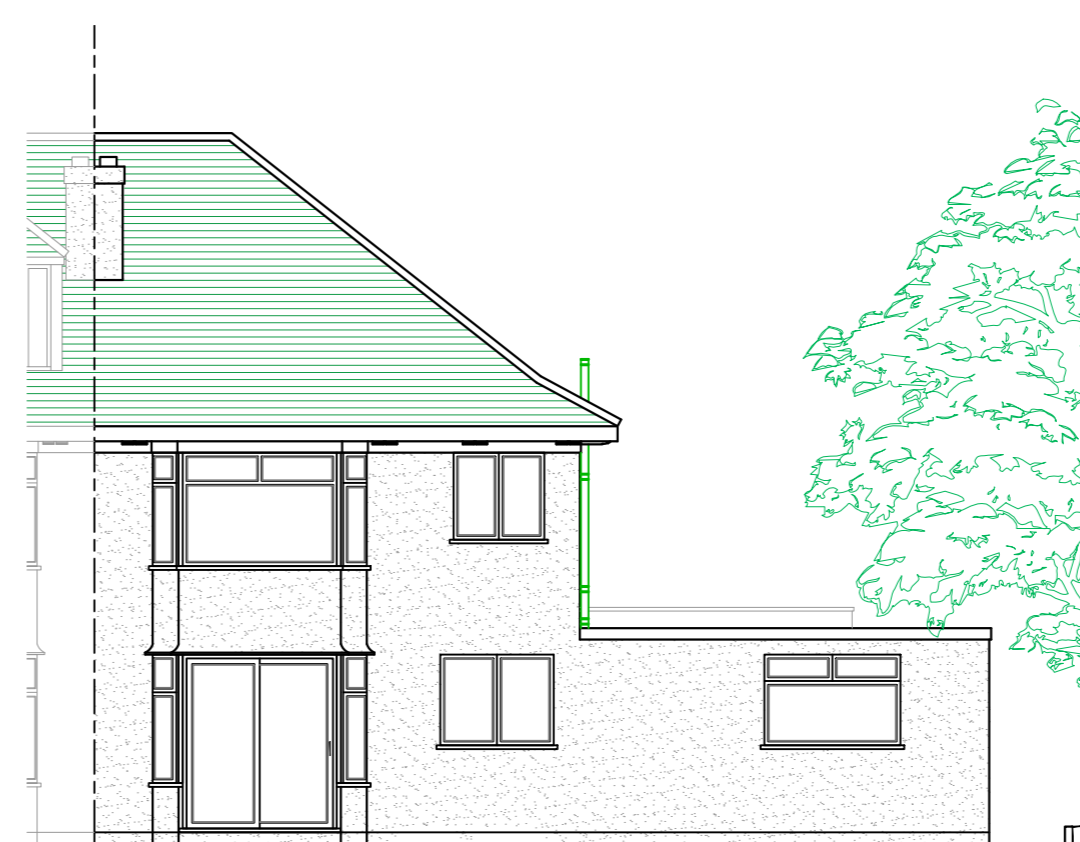


EXISTING FRONT ELEVATION



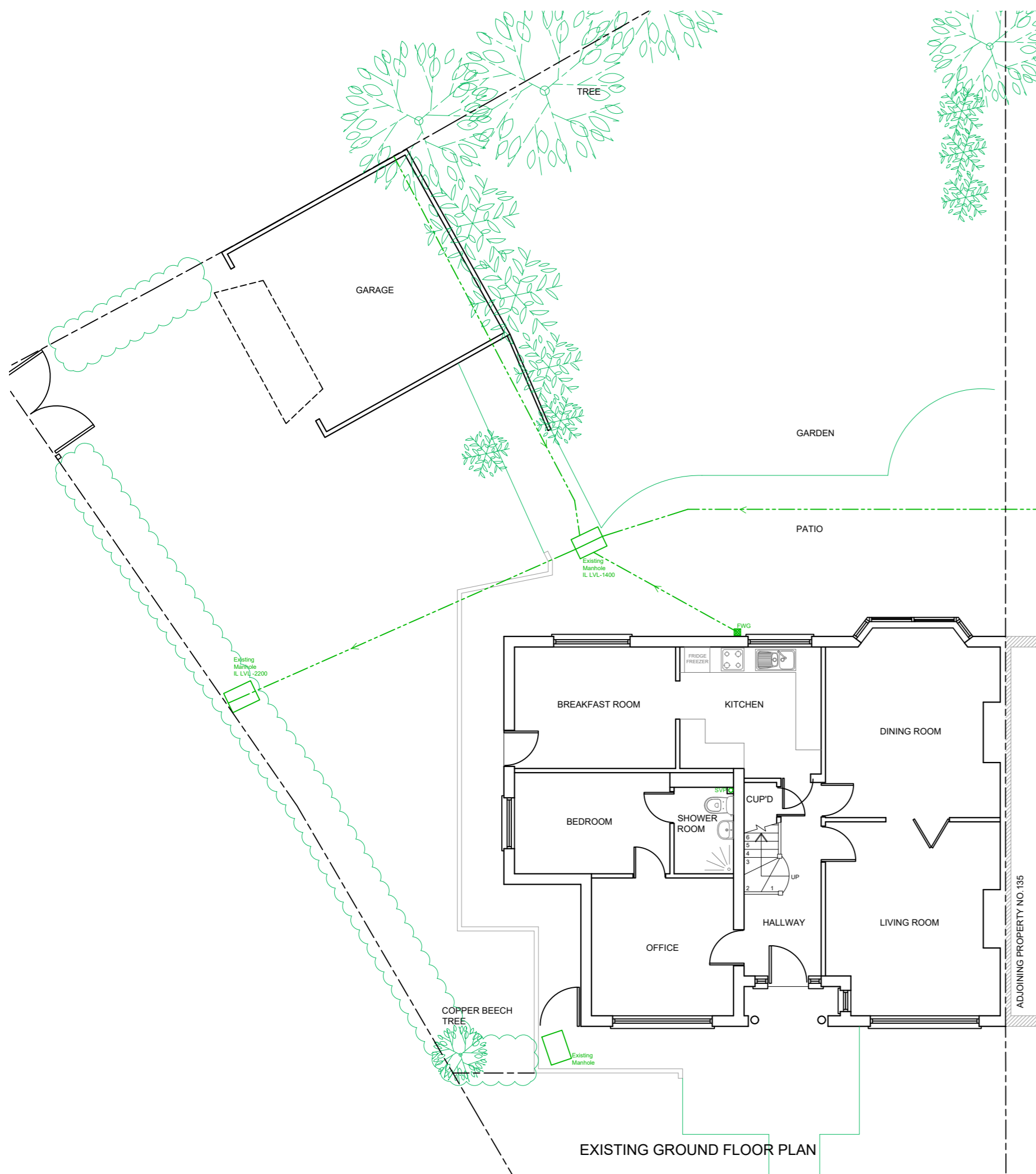
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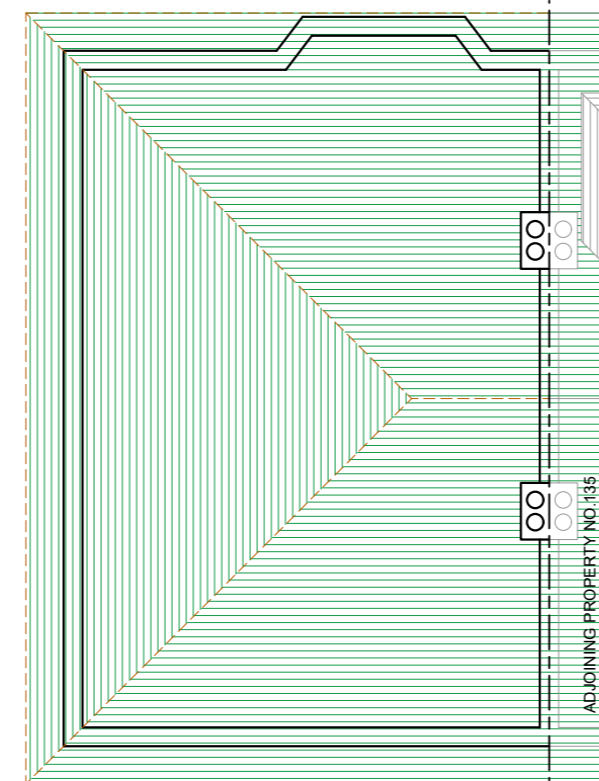
EXISTING REAR ELEVATION



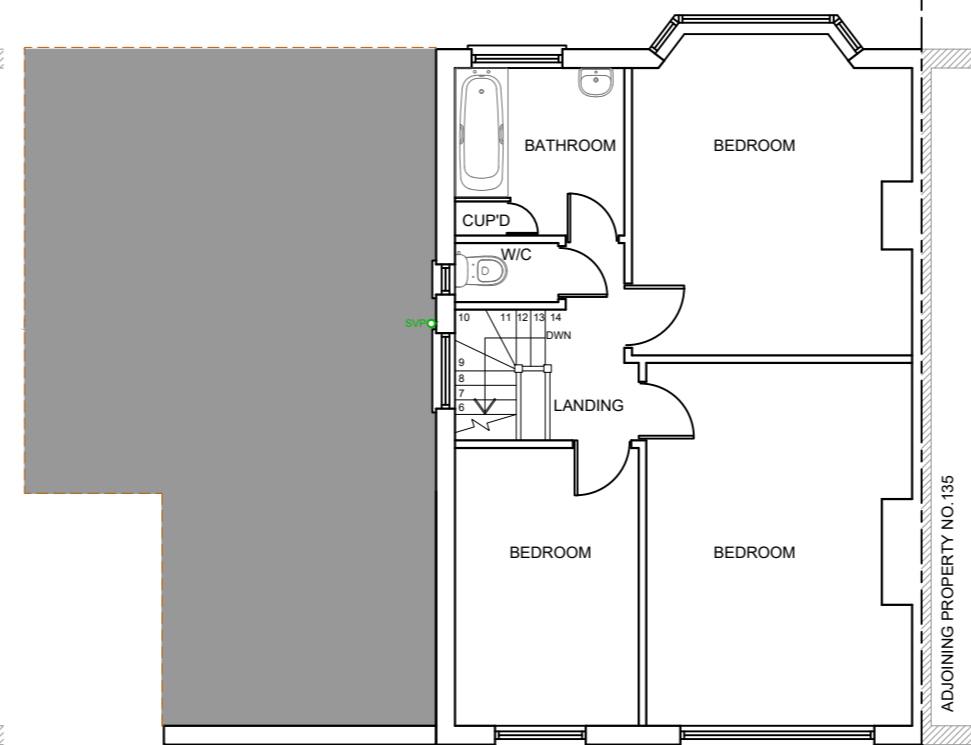
EXISTING SIDE ELEVATION



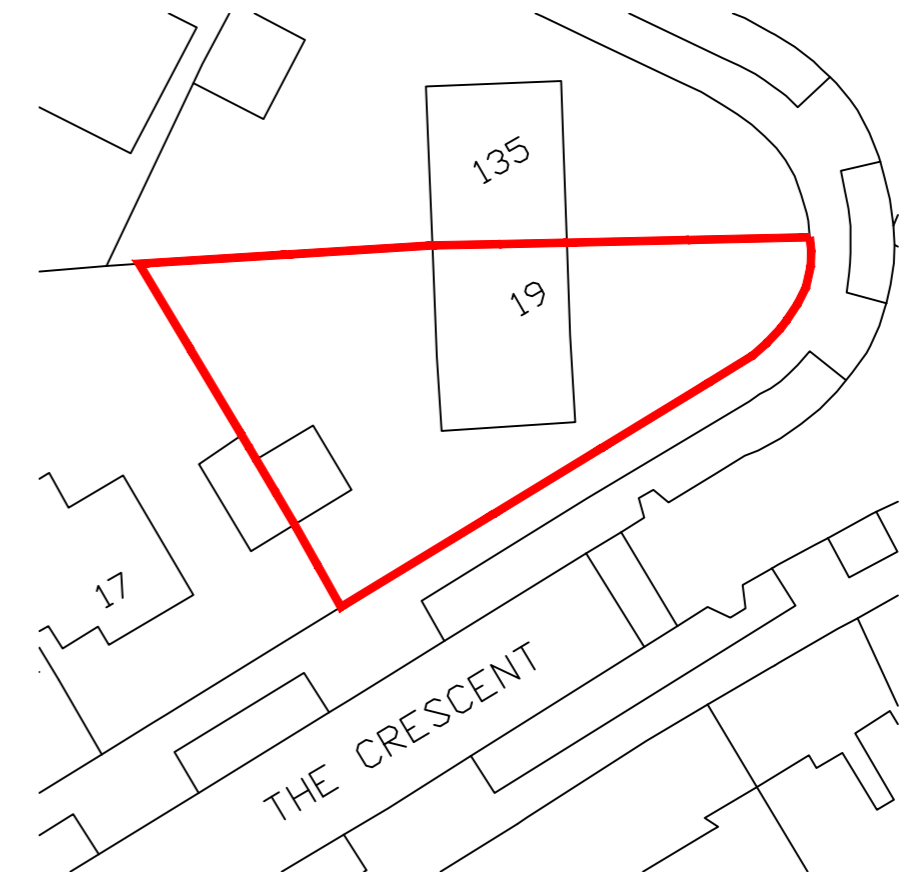
EXISTING GROUND FLOOR PLAN



EXISTING ROOF PLAN



EXISTING FIRST FLOOR PLAN



BLOCK PLAN (1:500)



SITE PLAN (1:1250)

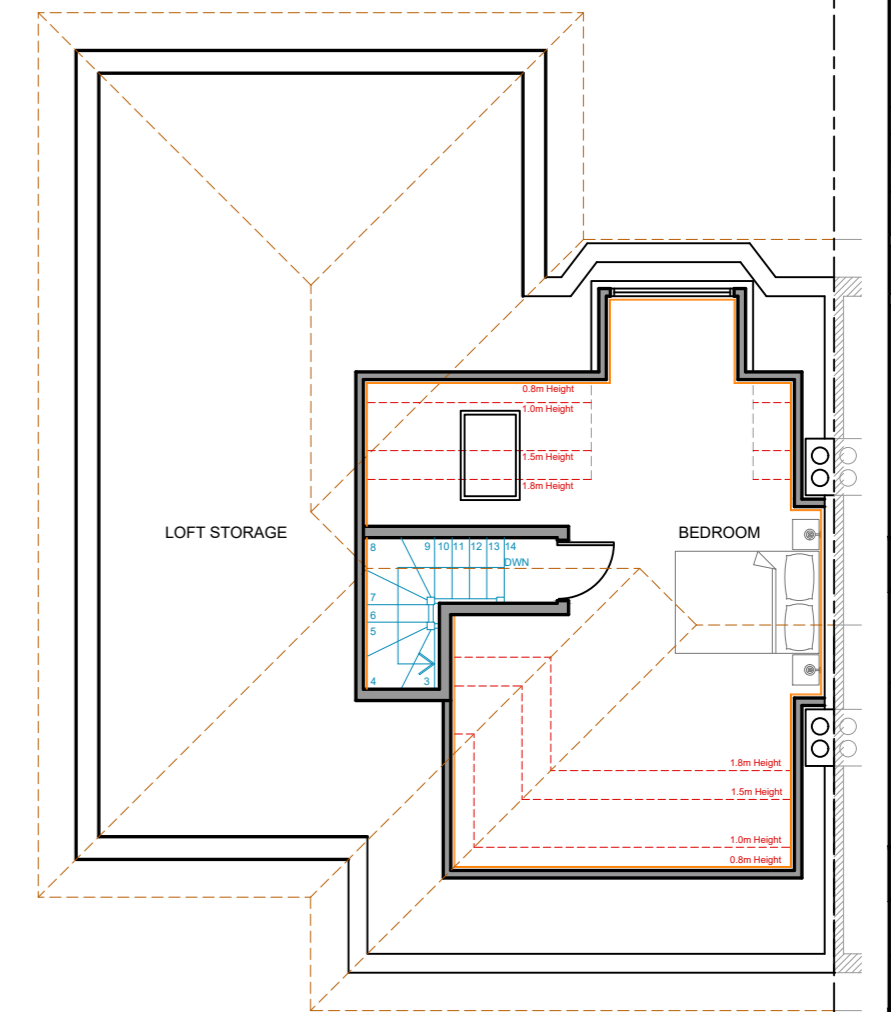
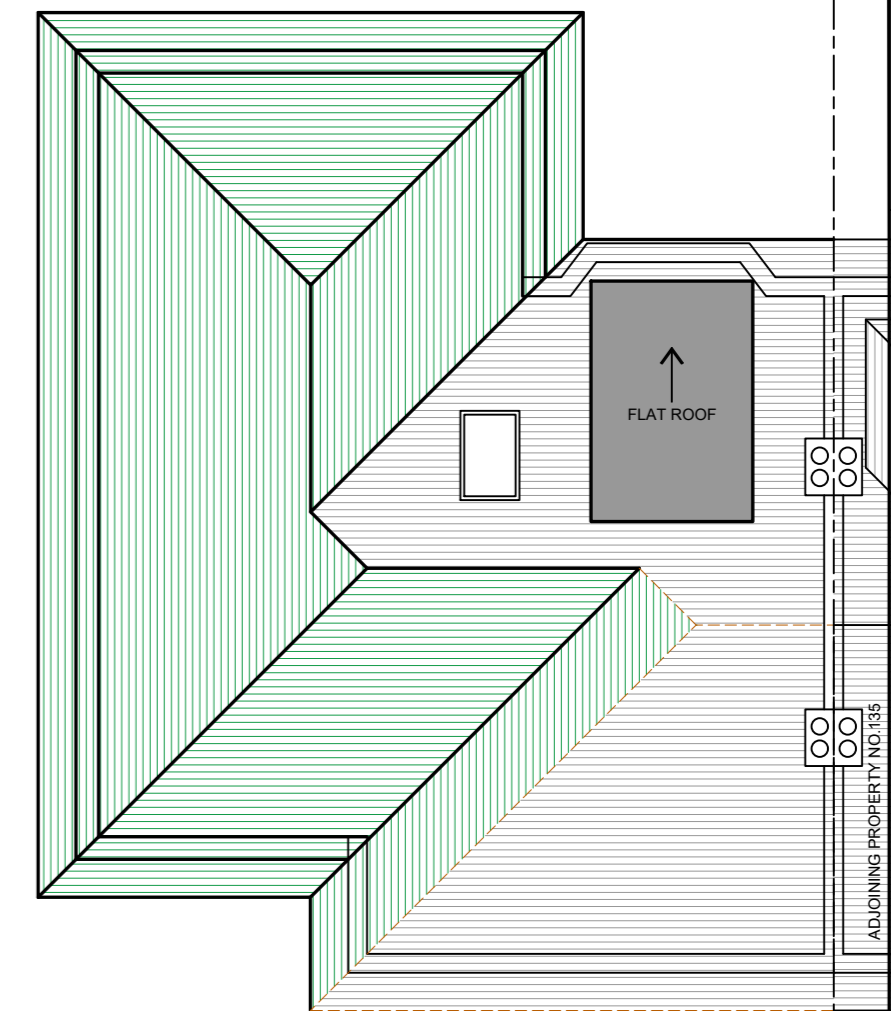
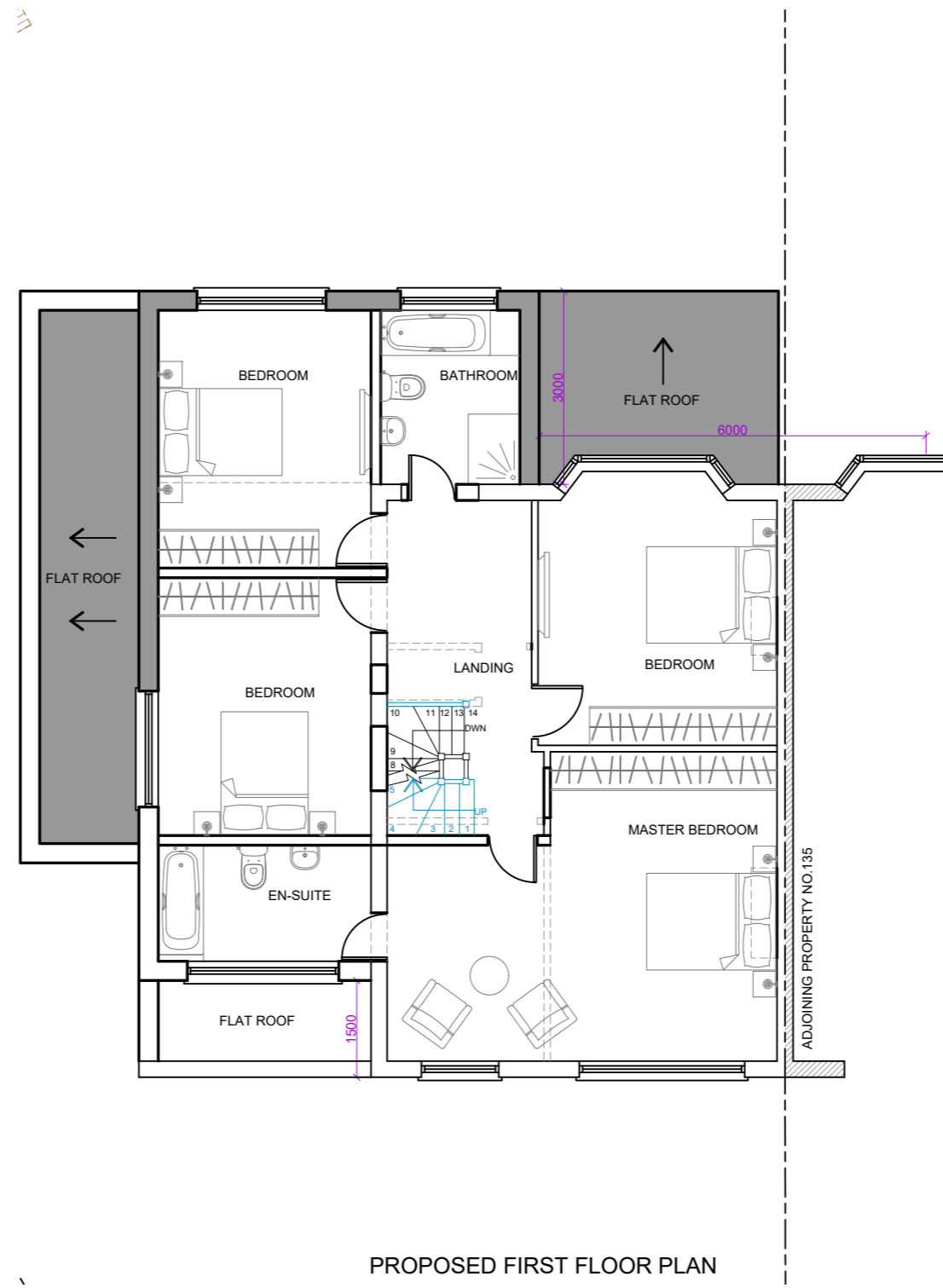
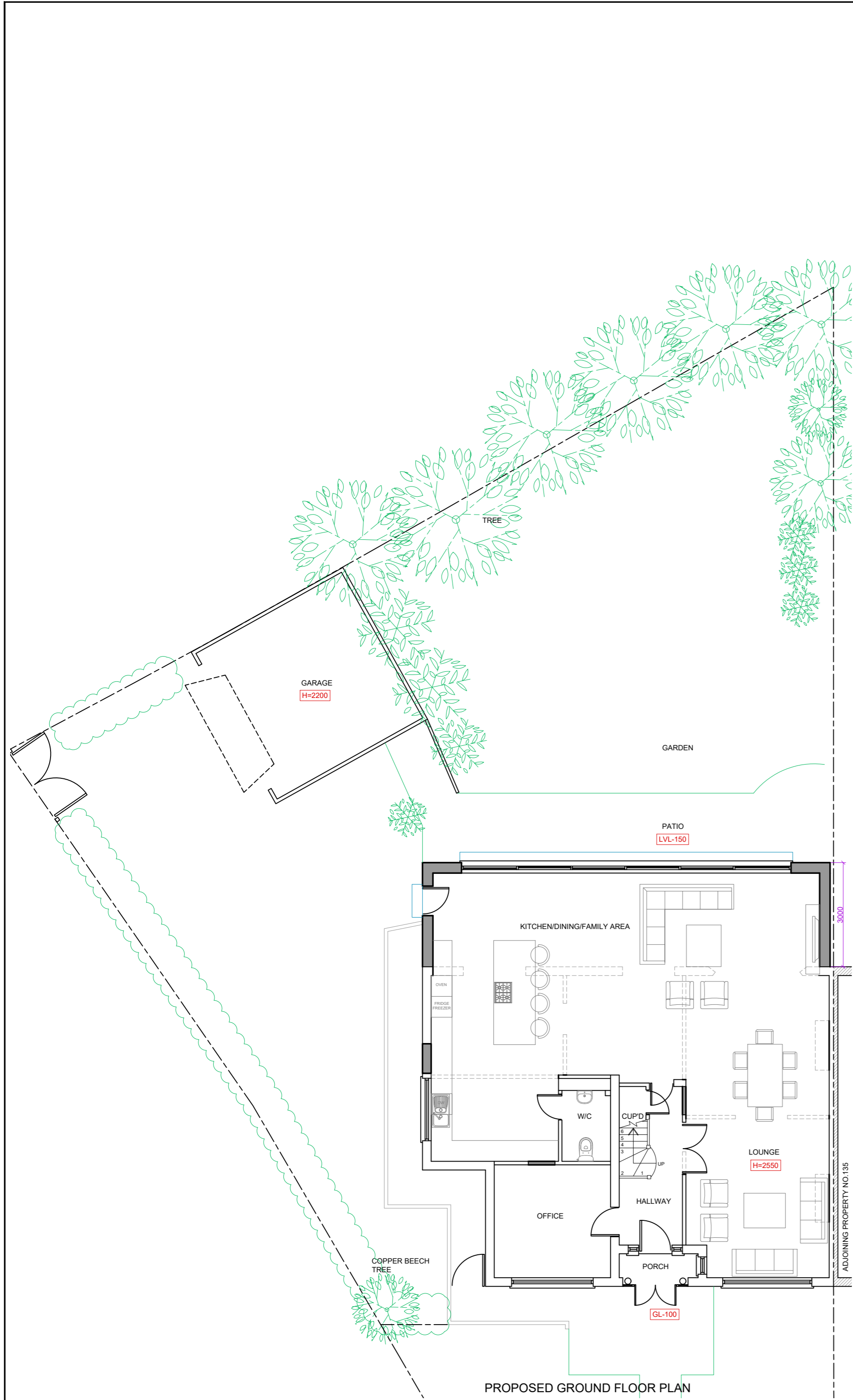
Rev	Date	Comment

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Client: MR A OWAINATI
 Site Address: 19 THE CRESCENT
 WEMBLEY
 HA0 3JS
 Project Title: SINGLE STOREY REAR,
 FIRST FLOOR SIDE AND PART
 REAR EXT AND LOFT
 CONVERSION WITH REAR
 DORMER AND WINDOW AND
 DOOR REPLACEMENT
 Status: PLANNING
 Drawn: JS Checked: KB
 Date: 08.09.2021 Scale: 1:100 @ A2
 Drawing Title:
 EXISTING FLOOR PLANS,
 ELEVATION, SITE PLAN AND
 BLOCK PLAN
 Job No: THEC19 Drawing No: PL-01 Rev:



IMPORTANT NOTE
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Client: MR A OWAINATI
 Site Address: 19 THE CRESCENT WEMBLEY HA0 3JS
 Project Title: SINGLE STOREY REAR, FIRST FLOOR SIDE AND PART REAR EXT AND LOFT CONVERSION WITH REAR DORMER AND WINDOW AND DOOR REPLACEMENT

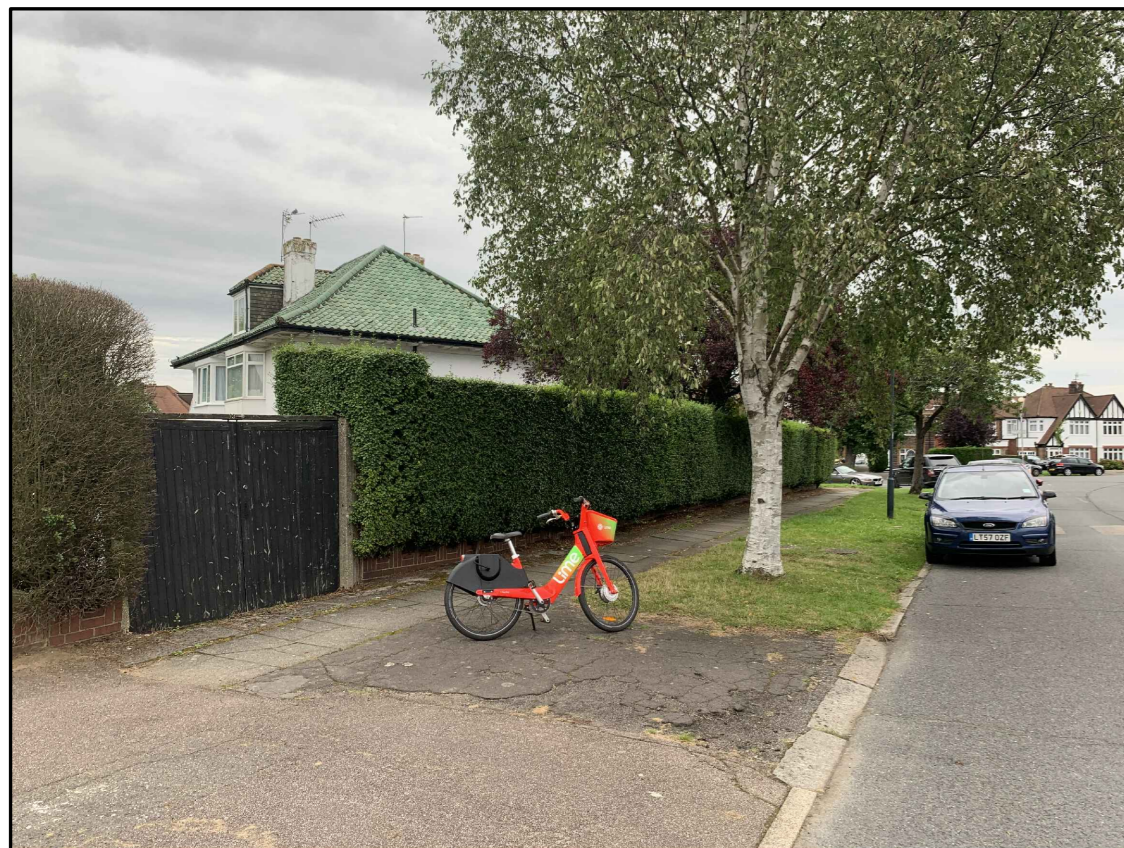
Status: PLANNING
 Drawn: JS Checked: KB
 Date: 08.09.2021 Scale: 1:100 @ A2

Drawing Title: PROPOSED FLOOR PLANS

Job No: THEC19 Drawing No: PL-02 Rev:



EXISTING FRONT ELEVATION PHOTO



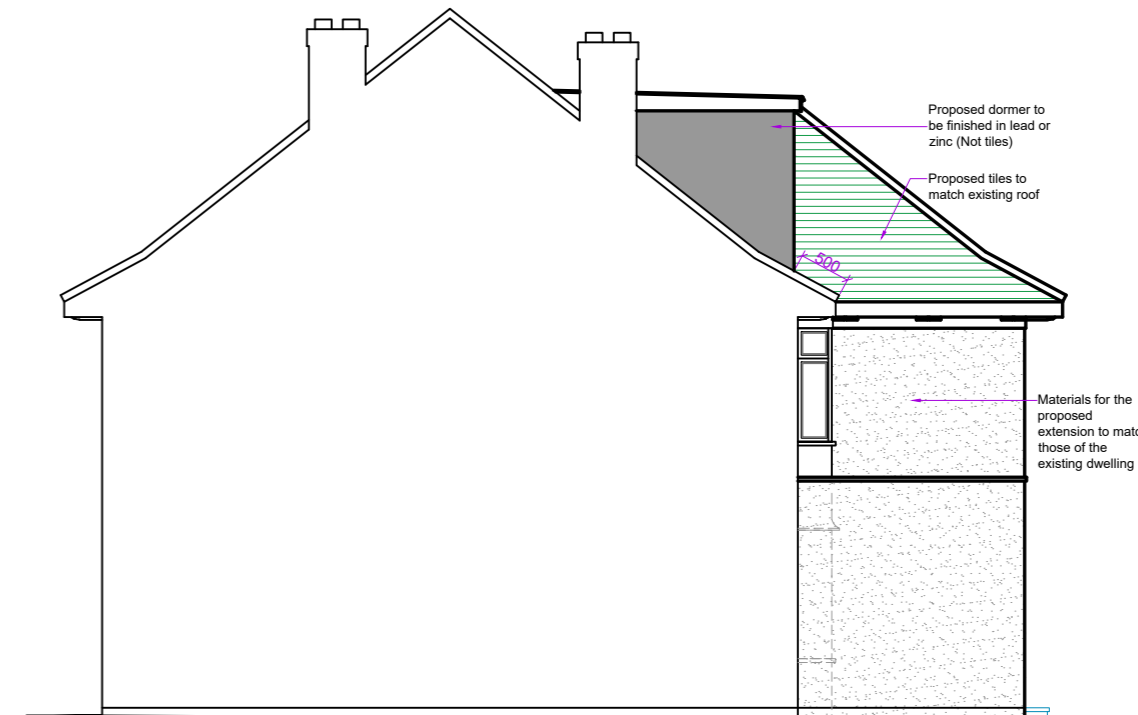
EXISTING SIDE PHOTO (TAKEN FROM REAR)



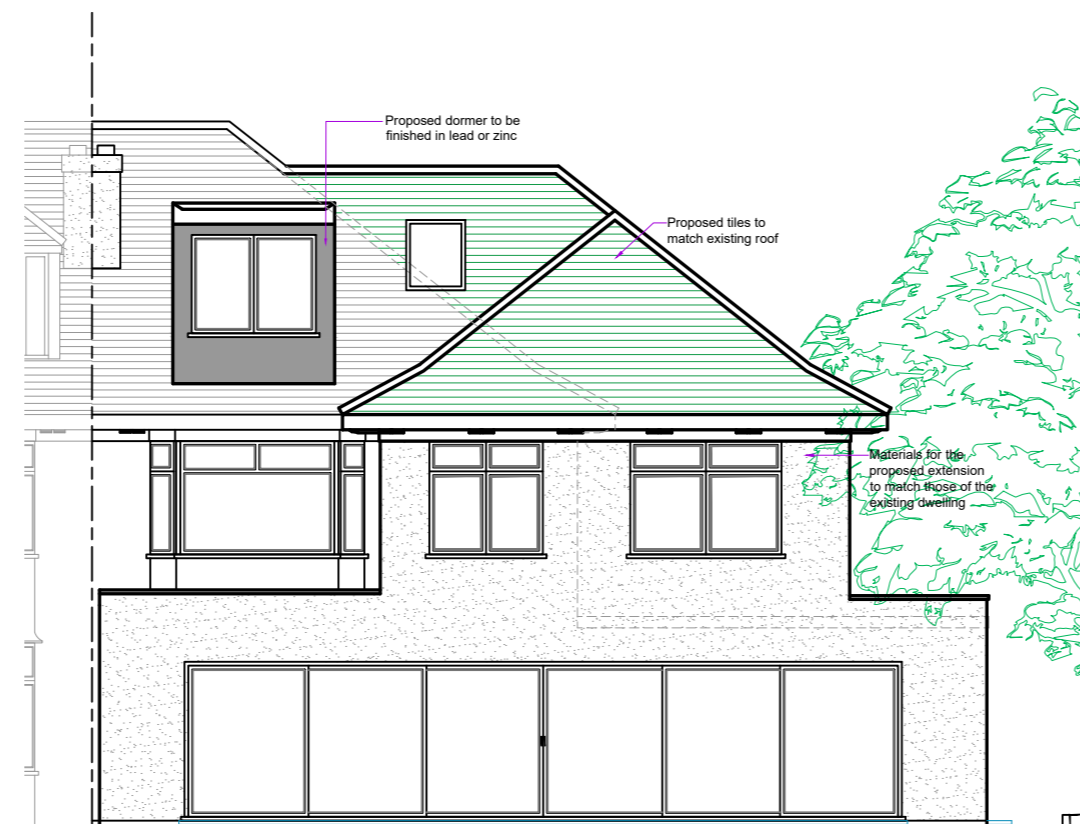
EXISTING FRONT CORNER PHOTO



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



118 PAXFORD ROAD, WEMBLEY, HA0 3RH- EXAMPLE OF FRONT PORCH



PROPOSED CONSERVATION STYLE GREEN ROOF TILES

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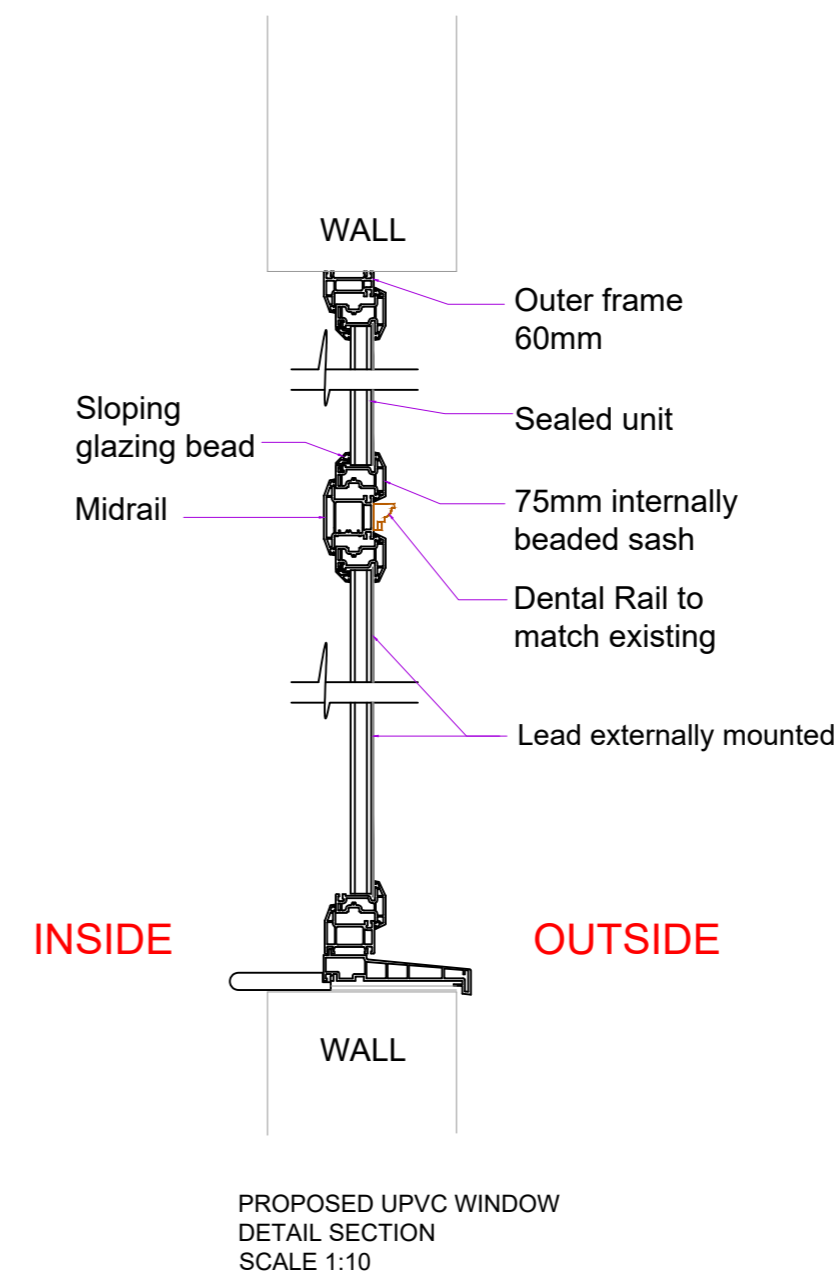
Client:	MR A OWAINATI		
Site Address:	19 THE CRESCENT WEMBLEY HA0 3JS		
Project Title:	SINGLE STOREY REAR, FIRST FLOOR SIDE AND PART REAR EXT AND LOFT CONVERSION WITH REAR DORMER AND WINDOW AND DOOR REPLACEMENT		
Status:	PLANNING		
Drawn:	JS	Checked:	KB
Date:	08.09.2021	Scale:	1:100 @ A2
Drawing Title:	PROPOSED ELEVATIONS AND SITE PHOTOS		
Job No:	THEC19	Drawing No:	PL- 03
Rev:			

PROPOSED FIRST FLOOR WINDOWS

W2 - 01	W2 - 02	W2 - 03	W2 - 04
FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	SIDE ELEVATION
EN-SUITE WINDOWS	MASTER BEDROOM WINDOWS	MASTER BEDROOM WINDOWS	BEDROOM WINDOW
UPVC	UPVC	UPVC	UPVC
EXTERNAL FINISH : WHITE INTERNAL FINISH : WHITE	EXTERNAL FINISH : WHITE INTERNAL FINISH : WHITE	EXTERNAL FINISH : WHITE INTERNAL FINISH : WHITE	EXTERNAL FINISH : WHITE INTERNAL FINISH : WHITE

PROPOSED GROUND FLOOR DOORS & WINDOWS

W1 - 01	D1 - 01	W1 - 02	W1 - 03
FRONT ELEVATION	FRONT ELEVATION	FRONT ELEVATION	SIDE ELEVATION
BEDROOM WINDOW	MAIN ENTRANCE	LOUNGE WINDOW	KITCHEN WINDOW
UPVC	UPVC	UPVC	UPVC
EXTERNAL FINISH : WHITE INTERNAL FINISH : WHITE	EXTERNAL FINISH : WHITE	EXTERNAL FINISH : WHITE INTERNAL FINISH : WHITE	EXTERNAL FINISH : WHITE INTERNAL FINISH : WHITE



NOTE

This drawing is for client guidance ONLY, and Window manufacturers must carry out a Site Survey, and confirm ALL instructions & specifications with the client.

Windows

Units shall be beaded internally to allow for ease of future replacement
Sills should project 50mm beyond face of building

To all ground floor glazing units including doors the external panel shall be laminated security glass. Laminated glass shall be kite marked. Glazing to windows, external doors and sidelights in critical locations to be toughened or laminated in accordance with the requirements of BS6206 and Approved Document Part N also to satisfaction of NHBC & Secure By Design Officer as required.

Maximum acceptable reach from inside is 550mm an fixed lights or side hung casements should not exceed this limitation.

When glazing lights are necessary these should be capable of being replaced from the inside face by normal methods

All windows will have secondary cills which shall not be flush.

Windows are to have trickle vents, permaventments or similar.

Ventilators in the glazing are not permissible

All windows are to be capable of being secured(non-key) when held in a semi-open position,

Windows to be fitted with stainless steel, easy clean friction stays with integral childproof restrictors.

All windows to be fitted with separate security mortice bolt, adjustable friction stays to allow limiting opening to 100mm with the provision of a deliberate override by an adult and adequate handles.

All windows should be capable of being cleaned both inside and outside from this property.

Painted softwood window boards shall be pointed with rounded ends minimum 25mm thk.

All window frames shall be pointed with a low modulus silicone mastic to be installed to perimeter to be installed to perimeter of external finishes.

Casement windows should not be sited by paths as they could present potential danger to pedestrians walking past

Double glazed units shall be BS 5713.

External Doors

Individual house entrance doors shall comply with PAS24, solid core, fire resisting as necessary, 44mm thk with 10mm minimum hardwood lippings on all edges frames and stops shall be softwood to match fire rating. All to be factory finished.

All thresholds shall be flush. Doors should have a 15mm clearance.

All frames are to be pointed with a silicone sealant and draught stripped.

Provide three sets of clearly labelled keys and fobs to all doors at handover

Full height glazed doors are to have toughened/laminated glass and to be double glazed and additional means of ventilation should be provided. Additional locks should be provided

Door stops, skirting or floor fixed, shall be provided.

Timber doors and frames shall be primed, finished with woodstain and varnish or three coats of oil paint.

All external doors shall be fitted with restrictors.

Internal Doors

Internal house doors shall be factory primed plywood faced doors to the employers approval with softwood linings, architraves and stops. Doors should be fire resisting/check as required and 10mm minimum hardwood lipped on all edges. Oil paint finish.

Linings etc shall be treated, primed and oil painted softwood.

Door closers and intumescent strips to door frames shall be provided to satisfy the Fire Officer's requirements and Local Authority.

Care must be given to the hanging doors and the position of swing and how this relates to light fittings, wall switches, outlets, heaters and other doors. A suitable gap should be left under door for the fitting of carpets and underlay.

Cupboards large enough to permit children to enter and close the door should include a full lever set.

Door thresholds to be stained hardwood and a maximum upstand of 15mm from finished floor level.

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DOOR REPLACEMENT

Status: PLANNING

Drawn: JS Checked: KB

Date: 08.09.2021 Scale: 1:50 @ A2

Drawing Title:
DOOR & WINDOW SCHEDULE

Job No: THEC19 Drawing No: PL- 04 Rev: